

Householder Planning Application

Proposal to demolish outbuilding and erect a two storey extension to the rear of dwelling
121 MANCHESTER ROAD, HAPTON, BURNLEY

Background:

Site description and surrounding area

The application property is a large two storey detached dwelling situated on the west side of Manchester Road and set within a sizeable plot. The property forms part of a ribbon of development along Manchester Road which is characterised a variety of different types, styles and periods of properties, including detached, semi-detached and bungalows in a range of materials including render, pebble dash, red brick and stone. The application property remains unaltered to the front (east) elevation and has an attached lean-to garage to the gable (north) elevation and a modestly sized single storey extension to the rear (west) elevation which serves as a utility room. The application property was built in the 1920s and is red brick with upvc windows and doors under a slate roof. There is an existing drive and parking area to the front and a generous rear garden with a length of around 24m.

The application site lies within the development boundary as defined in Burnley's Local Plan.



View west to the front elevation



View east to the rear elevation



View north to No.119 Manchester Road



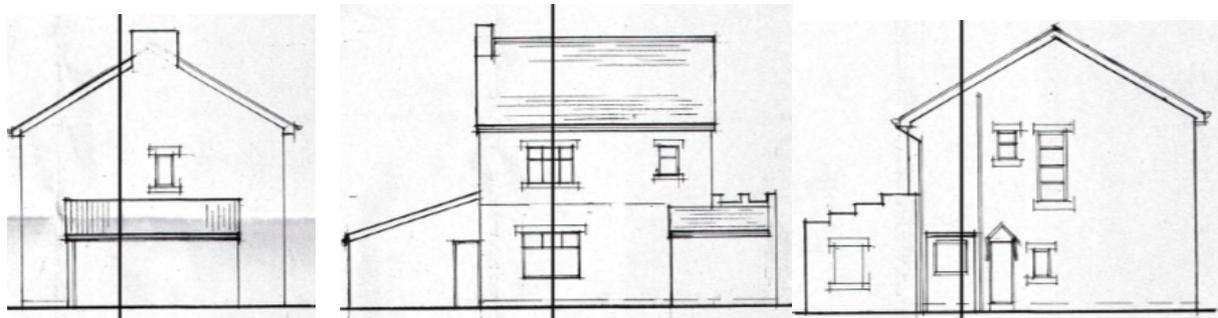
View south to No. 123 Manchester Road

Proposed Development for which consent is sought

The application seeks consent for the erection of a two storey extension to the rear of the application property replacing an existing modestly sized single storey extension, to create a kitchen/dining room at ground floor and an additional bedroom with en-suite and dressing room at first floor. The proposed extension will project 6.0m from the rear elevation and would have a width of 7.4m. The height of the extension, which has a pitched gabled roof, is 5.7m to the eaves (in line with the existing) and 7.4m to the ridge (set down from the main roof ridge by 0.5m). The proposed materials are white render, slate roof and upvc windows and doors.

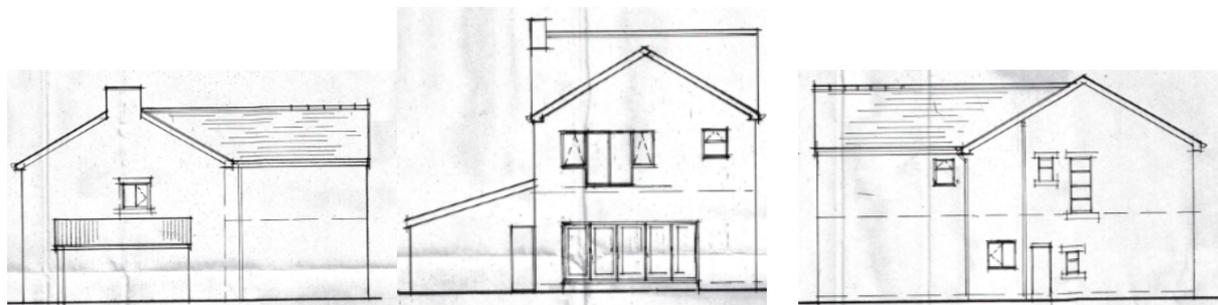
The proposal also includes the alteration of an existing first floor bedroom window opening to the northern gable from a width of 0.5m to 1m. This will compensate for the loss of the main window to the bedroom which is located on the existing rear elevation which will become a new internal wall to the extension.

The proposal includes the provision of two off-street parking spaces on the existing drive and a third space in the existing garage.



Existing side (north) elevation elevation

Existing rear (west) elevation Existing side (south)



Proposed side (north) elevaton (south) elevation

Proposed rear (west) elevaton

Proposed side

Existing and Proposed Elevations

Relevant Policies:

Burnley's Local Plan 2018:
 SP4 – Development Strategy
 SP5 – Development Quality and Sustainability
 HS5 – House Extensions and Alterations
 IC3 – Car Parking Standards

National Planning Policy Framework (2019)

Site History: No relevant history

Consultation Responses:

Highways:

An earlier objection over inadequate off-street parking provision has been overcome with amended site plan (dated 28th June 2019) which provides for two parking spaces accommodated within an extension to the existing driveway and one parking space in the existing garage. Appropriate conditions to ensure a satisfactory surfacing material to the driveway and measures to ensure adequate visibility at the junction with the highway are recommended.

Neighbour Comments:

Letters of representation have been received from two neighbouring properties objecting to the application on the following grounds:

- Loss of sunlight to the garden of the neighbouring property to the south and loss of sunlight to the garden and habitable rooms of the neighbouring property to the north due to the cumulative impact of the large sycamore tree within the garden of the application site and the proposed extension. The objectors request the removal of the tree would mitigate the potential detrimental impact.
- Inadequate parking provision for the increase in numbers of bedrooms.
- Loss of view (albeit limited) to Hambledon Hill from the first floor rear bedroom window on the gable of the neighbouring property to the north. Replacement of the view with that of the northern gable of the proposed extension.
- Private matters regarding another mature tree positioned on the boundary with the neighbouring property to the north.

With reference to the objections received, the shared concern is the existing tree to the southern boundary. The applicant has subsequently removed the trees that are subject to the objections.

Planning and Environmental Considerations:

The Principle of development

The site is located within the development boundary as defined in Burnley's Local Plan which is the focus for development of an appropriate type and scale. Extensions to an existing property within its curtilage are acceptable in principle.

Main issues

The main issues are impact on the character of the area including design and appearance; impact on the amenity of neighbours and highways.

Visual Impact: Design and Appearance

Local Plan Policy SP5 amongst other considerations seeks new development to respect existing, or locally characteristic street layouts, scale, massing and use an appropriate palette of materials. This is detailed further in Policy HS5, stating alterations and extensions to dwellings should be high quality in construction.

The proposed extension respects the architectural characteristics of the main house. The proposed extension will remain subservient to the host dwelling as a result of the roof being set down from the existing ridge line by approximately 0.5m. There is a mix of materials in use on neighbouring buildings and therefore the use of a render finish to the rear of the property to differentiate the extension as a contemporary addition does not raise any concern.

The proposed two storey rear extension would not be visible in the streetscene. Although the proposal would result in a significant increase in floor space and an increase in mass to the

rear of the property the rear garden of the application property is relatively large and therefore the extension would not appear visually incongruous or dominate the space.

The proposed extension is not considered to be visually detrimental to the scale or character of the existing house or the visual amenity of the streetscene. This development is considered acceptable in accordance with Policies SP5 and HS5.

Impact on the neighbouring amenity

In accordance with Local Plan Policy SP5 and HS5 development should not have a detrimental impact on the amenity reasonably expected to be enjoyed by the occupants of neighbouring properties through overlooking, lack of privacy or reduction of outlook or daylight.

The nearest properties with the potential to be impacted by the proposal are No 123 Manchester Road to the south of the application site and No 119 Manchester Road to the north of the application site, both sizeable detached properties in generous plots.

With reference to No. 123 Manchester Road to the south, it is considered that there would not be a harmful impact on their residential amenity. There is a proposed en-suite bathroom window in the southern (side) elevation of the proposal that would face towards the side of their rear garden, however to prevent any potential overlooking/loss of privacy a condition would be imposed to obscure the window. The proposal would be offset by 5.2m from the common boundary and is not considered to cause any unacceptable overlooking, loss of privacy or reduction of outlook of daylight or appear overbearing.

No. 119 Manchester Road is a two storey detached property with a single storey garage that projects approximately 8m from the rear of the property and forms part of the northern boundary at the rear of the application site. The roof of the garage is used by the residents as terrace with unobscured views into the rear garden of the application site. Although the proposed extension would be projecting a further 6.0m from the existing rear wall of No 121, the proposed extension is positioned within 5.1m of the shared boundary and the extension would be broadly in line with the rear elevation of the main house at No.119 with the existing single storey garage extending some 6 metres beyond providing privacy and enclosure to the rear ground floor rooms.

The proposed extension is devoid of windows to the gable facing the neighbouring dwelling at No. 119 and is not considered to cause issues of overlooking. The extension falls outside of the 45 degree splay from the existing first floor habitable room windows to the southern gable of No. 119 and maintains adequate distance between the elevations so as not to affect their amenity in terms of loss of sunlight and reduction of outlook/loss of view or appearing overbearing.

With reference to the objections received, the main concern in relation to No 119 Manchester Road relates to loss of sunlight to the property and the reduction of outlook/loss of view from the rear bedroom window on the southern gable of the house. Taking the above into account, it is considered that the proposal would not result in any unacceptable overshadowing, loss of light or outlook to the property.

It is proposed to increase the width of an existing first floor bedroom window in the side (north) elevation of the existing property by 0.5m. The window opening faces towards the southern (side) gable of No 119, which has a directly facing bedroom window. Though this would result in facing habitable room windows that fail to meet the recommended separation distance of 20m; given that this is an existing opening with a separation distance of 9.5m, it is considered that the proposed alteration would maintain a modest level of privacy when compared to the existing arrangement and is not sufficient in itself to warrant refusal.

Taking the representations into account, it is considered that given the scale and positioning of the proposed extension, the proposed development would not cause a significant loss of privacy or overlooking with neighbouring properties and would not result in a significant or unacceptable reduction of outlook or daylight in accordance with Local Plan Policies HS5 and SP5.

Car parking

The current dwelling has three bedrooms and this would be increased to four. Three off-street parking spaces are required under Local Plan Policy IC3. There are currently 2 off-street parking spaces provided comprising one on the front drive and one in garage. The applicant has submitted a revised site plan (received 28.06.19) which shows an extension to the driveway to provide one additional off-street parking space. Adequate off-street parking spaces have therefore been provided and the local highway authority has no objections to the proposals subject to the imposition of conditions to ensure a satisfactory surfacing material to the driveway and measures to ensure adequate visibility at the junction with the highway.

Conclusion

Subject to suitable conditions, the proposed development will not result in any significant adverse impact on the residential or visual amenities of the area or on highway safety.

Recommendation: Approve with conditions

Conditions:

1. The development must be begun within three years of the date of this decision
2. The development hereby permitted shall be carried out in accordance with the following approved plans: Site Plan (1:500) received on the 28 June 2019; and, Proposed Floor Plans and Elevations (1:50 and 1:100) and Proposed Roof Plan and Sections (1:50 and 1:100), received on the 26 April 2019.
3. All materials to be used in the approved scheme shall be as stated on the application form and approved drawings and shall not be varied without the prior written approval of the Local Planning Authority.
4. The en-suite bathroom window on the south (side) elevation of the extension hereby approved shall be obscurely glazed. Any replacement glazing thereafter shall also be obscure glazed.
5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revising, revoking and re-enacting that Order with or without modification), no internal or external alterations shall take place to the existing garage which would preclude its use for one parking space without the prior written approval of the Local Planning Authority.
6. The driveway extending from the highway boundary into the site shall be appropriately paved in tarmacadam, concrete, block paviours, or other bound materials prior to the completion of the approved development.
7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revising, revoking and re-enacting that Order with or without modification), there shall not at any time in connection with the development hereby permitted be erected or planted or allowed to remain upon the land hereinafter defined as the visibility splay any building, wall, fence, hedge, tree, shrub or other device over 1m above road level. The visibility splay for the purposes of this condition shall mean

that land in front of a line drawn from a point 2.4m measured along the centre line of the proposed access, to a point at the boundary of the property where it meets the back edge of the footway and shall be maintained thereafter.

Reasons:

1. Required to be imposed by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. To ensure the development is implemented in accordance with the approved plans and to avoid ambiguity.
3. To ensure that the development will be of a satisfactory appearance and to comply with Policy SP5 of Burnley's Local Plan (July 2018).
4. To protect the amenities of the adjoining residents having regard to Policy HS5 of Burnley's Local Plan (July 2018).
5. To ensure that alterations are not carried out which would deplete the provision of off-street car parking provision within the site to below the required standard. To comply with Policy IC3 of Burnley's Local Plan (July 2018).
6. To prevent loose surface material from being carried on to the public highway thus causing a potential source of danger to other road users, in accordance with Policy IC3 of Burnley's Local Plan (July 2018).
7. To ensure adequate visibility at the street junction or site access in the interest of highway safety in accordance with Policies HS5 and IC1 of Burnley's Local Plan (July 2018).

EEP
16.7.2018